

**CRAIG CROTTY  
ARBOR CULTURE LLC**

November 21, 2019

Sean Briski  
1226 Vista Court  
Glendale, CA 91205  
Tel. 323-828-5784

**Regarding: Proposed single family residence near oak tree**

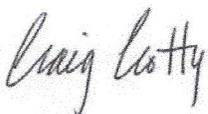
**ADDENDUM  
INDIGENOUS OAK TREE  
TREE PROTECTION PLAN**

This addendum is made to discuss a slight modification to the plan layout of a residential driveway in relation to a regulated Coast Live Oak, *Quercus agrifolia*, at 1226 Vista Court. The new driveway is to be located within the south crown and tree protection zone due to location of the tree and limited site layout options.

The driveway modification is due to a City of Glendale mandated sidewalk access addition that fills a small triangular section where the driveway joins the sidewalk. The additional sidewalk access is east of the sidewalk and inside the residential front yard, south of the tree trunk.

The new concrete layout is ultimately a minor additional encroachment into the protected zone of the oak tree. The nearest edge of new concrete will be placed approximately 24 feet south of the tree trunk. Large tree roots (2 inches or larger) are not anticipated at this distance from the trunk. Thus, the tree is expected to weather the proposed construction encroachments without significant negative impacts as long as protections are put in place per the original tree preservation plan of September 2019 especially the first three items repeated here.

1. Fence: Tree protection fences should be placed along:
  - Property line west and north sides.
  - 6 feet off the new wall of the house.
  - 1 foot inside the edge of the new driveway.
2. Fence: Barriers should be constructed of chain link fencing 5-6 feet in height to exclude soil compaction within the dripline. All construction activities should be kept outside the tree protection barriers including foot traffic, equipment operation, material transport, material storage, and trenching.
3. Mulch: Apply a 4 inches depth mulch layer over the entire area within the dripline. Coarse wood chips or equal are recommended.



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**CRAIG CROTTY  
ARBOR CULTURE LLC**

September 9, 2019

Sean Briski  
1226 Vista Court  
Glendale, CA 91205  
Tel. 323-828-5784

**Regarding: Proposed single family residence near oak tree**

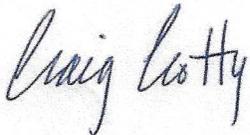
**INDIGENOUS OAK TREE  
TREE PROTECTION PLAN**

I observed a regulated Coast Live Oak, *Quercus agrifolia*, at 1226 Vista Court on September 9, 2019. A single family residence is proposed at this address. The new home will be placed just to the east of the tree, encroaching into the outer dripline and tree protection zone. The proposed encroachment is considered minor and likely will not negatively impact tree health in the long term as long as protection recommendations are diligently followed.

The subject Coast Live Oak, *Quercus agrifolia*, appears healthy and well structured. The trunk diameters are 26 and 18 inches measured at 4.5 feet above grade with overall height estimated at 38 feet. The crown spread is N 34'-S 31'-E 24'-W 23'- SE 30'- NE 24'- SW 22'- NW 28'.

The crown is full with good density and foliage color. Response growth at past pruning wounds appears good suggesting good vigor. There have apparently been several episodes of reduction pruning with this tree over the years. Some wounds have closed completely while other more recent cuts show newer response growth.

The tree is currently enclosed by plastic protection fencing placed at the dripline. This fence should be replaced by a more robust chain link fence if construction is approved. Chain link offers better overall protection during the course of construction. Grades beneath the tree are relatively flat and devoid of any extra stored soil.



Craig Crotty, Arborist

**Supplemental Information:**

- Tree Preservation Plan
- Photos

**CRAIG CROTTY ARBOR CULTURE LLC**  
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**Oak Tree Preservation plan:**

1. Fence: Tree protection fences should be placed along:
  - Property line west and north sides.
  - 6 feet off the new wall of the house.
  - 1 foot inside the edge of the new driveway.
2. Fence: Barriers should be constructed of chain link fencing 5-6 feet in height to exclude soil compaction within the dripline. All construction activities should be kept outside the tree protection barriers including foot traffic, equipment operation, material transport, material storage, and trenching.
3. Mulch: Apply a 4 inches depth mulch layer over the entire area within the dripline. Coarse wood chips or equal are recommended.
4. Trench: Utilities place underground should be routed outside the tree dripline, preferably under the new driveway. If utilities must be placed within the dripline route them to the outermost edge of the tree dripline, hand dig, and monitor for root conflicts. Protect roots 1.5 inches diameter and larger.
5. Trench: Excavation for the residential foundation wall within the tree protection zone should be hand excavated to discover roots along the linear interface of proposed construction. Careful soil removal may be done with hand tools or by compressed air.
6. Roots: Root discovery and excavation should protect any root 1.5 inches diameter or larger. Excavation or trenching within the tree dripline should be done in the presence of the project arborist.
7. Root pruning may be required depending on discovery. If approved, root pruning should be done by the project arborist.
8. Root preservation is by use of boxing or bridging construction techniques or cushioned sleeves wrapped around.
9. Trench routes for utilities, or other uses such as landscape irrigation trenching, should be routed outside the tree dripline, or to the outer edge of the dripline.
10. Prune: Clearance pruning will be required along the east dripline facing the house. Pruning cuts should be kept under 2 inches diameter and minimized as possible. Clearance pruning should be monitored by the project arborist.
11. Water: Irrigation may be recommended during dry winter and spring seasons.

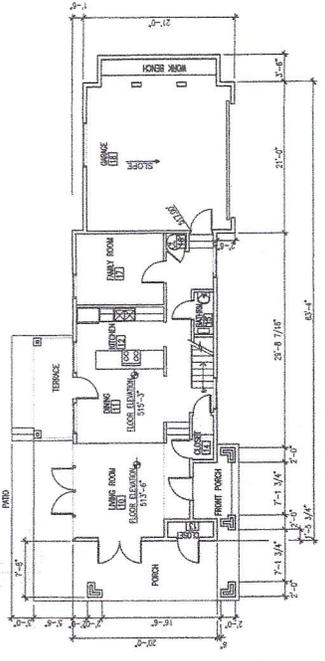
**PROJECT**  
 BRISKI RESIDENCE  
 1226 VISTA COURT  
 GLENDALE, CA 91205

OWNER/ARCHITECT  
 SEAN BRISKI  
 1226 REYNOLDS DRIVE  
 GLENDALE, CA 91205  
 323-828-6784

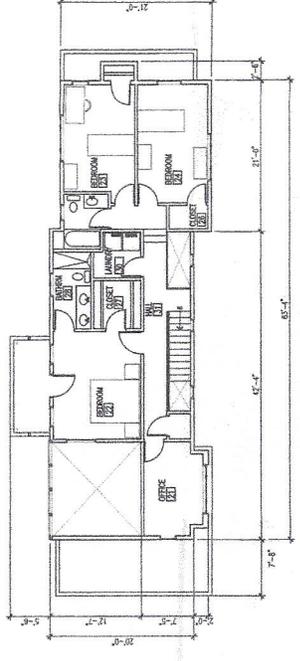
Date 8-12-19  
 Job Number 19-001  
 Scale 1/8" = 1'-0"  
 Drawn SB  
 Checked SB  
 Approved  
 Title

FLOOR, ROOF &  
 SITE PLANS

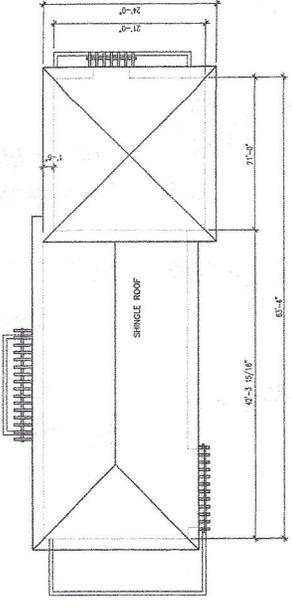
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**A1**



**1**  
 FIRST FLOOR PLAN  
 SCALE = 1/8"=1'-0"

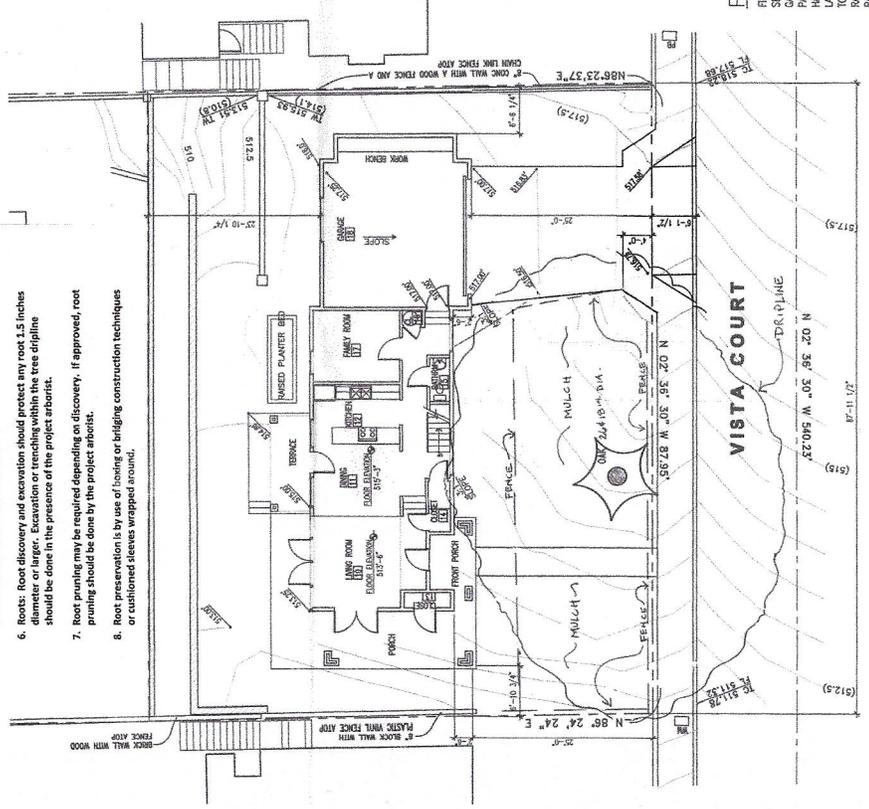


**2**  
 SECOND FLOOR PLAN  
 SCALE = 1/8"=1'-0"



- 9. Trenches for utilities, or other uses such as landscape irrigation trenching, should be routed outside the tree drip-line, or to the outer edge of the drip-line.
- 10. Prune: Clearance pruning will be required along the east drip-line facing the house. Pruning cuts should be kept under 2 inches diameter and made as close to the trunk as possible. Clearance pruning should be monitored by the project arborist.
- 11. Water: Irrigation may be recommended during dry winter and spring seasons.

- 1. Fence: Tree protection fences should be placed along:
  - Property line west and north sides.
  - 6 feet off the new wall of the house.
  - 1 foot inside the edge of the new driveway.
- 2. Fence: Barriers should be constructed of chain link fencing 5.6 feet in height to exclude soil compaction within the drip-lines. All construction activities should be kept outside the tree protection barriers including foot traffic, equipment operation, material transport, material storage, and trenching.
- 3. Mulch: Apply a 4 inches depth mulch layer over the entire area within the drip-line. Coarse wood chips or equal are recommended.
- 4. Trench: Utilities placed underground should be routed outside the tree drip-line, preferably under the new driveway. If utilities must be placed within the drip-line route them to the outermost edge of the tree drip-line, hand dig, and monitor for root conflicts. Protect roots 1.5 inches diameter and larger.
- 5. Trench: Excavation for the residential foundation wall within the tree protection zone should be hand excavated to discover roots along the linear interface of proposed construction. Careful soil removal may be done with hand tools or by compressed air.
- 6. Roots: Root discovery and excavation should protect any root 1.5 inches diameter or larger. Excavation or trenching within the tree drip-line should be done in the presence of the project arborist.
- 7. Root pruning may be required depending on discovery. If approved, root pruning should be done by the project arborist.
- 8. Root preservation is by use of hosing or bridging construction techniques or cushioned sleeves wrapped around.



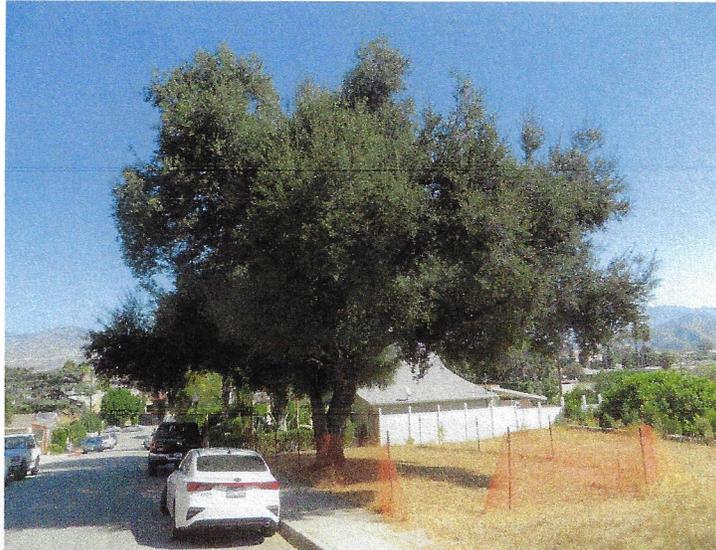
**6**  
 SITE PLAN  
 SCALE = 1/8"=1'-0"

**INDIGENOUS OAK TREE TREE PROTECTION PLAN**  
 Sean Briski  
 1226 Reynolds Drive  
 Glendale, CA 91205  
 Tel: 323-828-6784

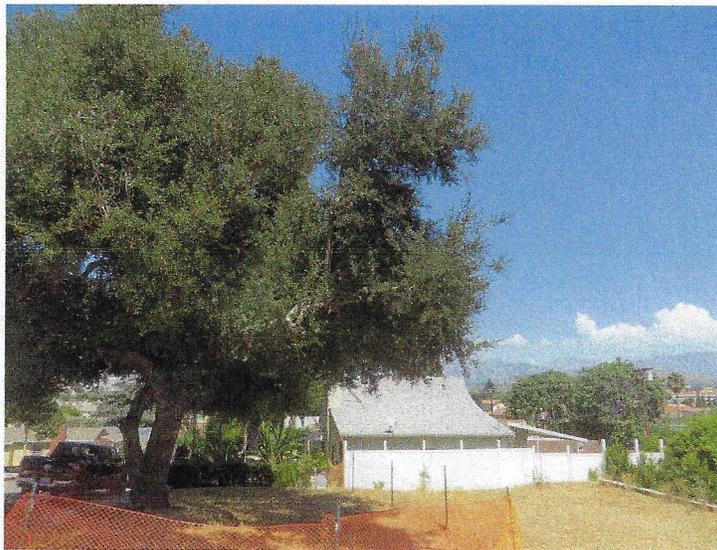
September 9, 2019  
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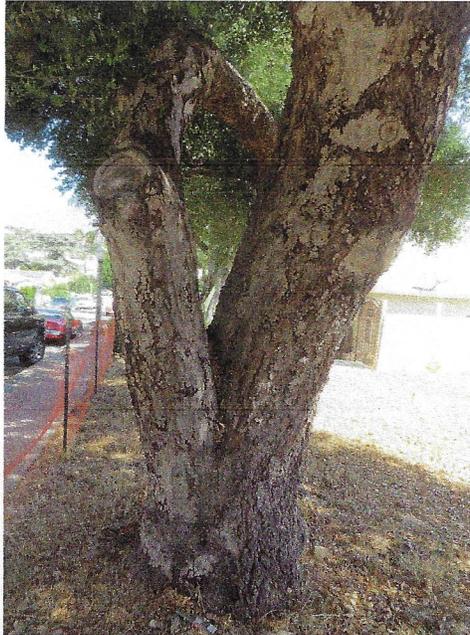
**PROJECT DATA**

FIRST FLOOR SQ. FT.	822 SQ. FT.
SECOND FLOOR SQ. FT.	1154 SQ. FT.
PERGOLA SQ. FT.	300 SQ. FT.
LANDSCAPE SQ. FT.	556 SQ. FT.
TOTAL SQ. FT.	3880 SQ. FT.
ROOF-LOT COVERAGE/AREA	35 %
ROOF-LOT COVERAGE/AREA	35 %
ROOF-LANDSCAPE AREA/LOT AREA	65 %



A new single family residence is proposed to the east (right). The home encroaches approximately three feet into the tree protection zone. Clearance pruning will be required and should be monitored.





Older pruning wounds are observed on the trunk.



A newer pruning wound of approximately July of 2018.